

Permit #:	BD22-2534	Status:	Finald
Permit Type:	Residential Single Family	Applied:	4/28/2022
Description:	Unit A- New Detached ADU- 998sf	Issued:	2/10/2023
Subdivision:	CHERRY GLEN TRACT	Finald:	3/8/2023
Situs:	319 CLINTON AV, UNIT A	Expired:	
Parcel #:	014-192-025-000	Valuation:	\$109,780.00
Land Use:	MDR	Square Feet:	998
Plan Area:	IN	Stated Value:	

Applicant Information

Applicant: STEVEN E. BENEDICT

Owner Information

Owner: FINLEY TAYLOR N

Contractor Information

Contractor: STEVE BENEDICT CONSTRUCTION

Address: 6407 MORGAN PLACE
LOOMIS, CA 95650

License #: 411648
Phone:

Building Admin Fee:	\$1,046.62
SPRTA - Infill:	\$1,001.92
Citywide Parks Fee - Infill (Deferrable):	\$2,819.00
HWY65JPA - Infill:	\$196.02
SPRTA - Infill Credit:	(\$99.20)
Strong Motion Tax:	\$14.27
Technology Fee - Issuance:	\$34.71
TMF - Infill (Deferrable):	\$4,185.88
Building Permit Fee:	\$1,156.98
Building Standards Fee:	\$5.00
Placer County Capital Facilities SFD (Number of Units):	\$1,813.61
Planning Plan Check:	\$175.00
City/County TMF - Infill:	\$50.31
General Plan Update Fee:	\$55.00
Public Facilities Medium Density Residential (Deferrable):	\$2,713.50

Solid Waste Impact:	\$410.00
Technology Fee - Admin Fee:	\$36.65
<hr/>	
Total Payments:	\$15,615.27

SAMPLE



Development Services Department
 Building Division
 311 Vernon Street
 Roseville, California 95678-2649
 (916) 774-5332 • Fax (916) 774-5394

Contractor Declarations

PROJECT INFORMATION	
Property Address:	319 Clinton Ave, Roseville, CA 95678
Name of Property Owner:	Taylor Finley
Phone Number of Property Owner:	
Email Address of Property Owner:	
Work Description:	ADU 998 sqft new build

LEAD BASED PAINT

WARNING: Structures built prior to 1978 may contain lead-based paint. The Owner/Contractor understands and agrees that an EPA Certified Firm shall be used for the disturbance of any painted surfaces or materials.

PERMIT HOLDER OF RECORD

This permit is to be issued in the name of the Licensed Contractor as the permit holder of record.

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Company Name: Steve, Benedict construction

Phone: _____

Email Address: _____

License Class: Class B License Number: 411648 Expiration Date: 9/30/2023

City of Roseville Business License Number: Applied 4/29/2022 - pending

Signature of Contractor: Steve Benedict Date: 4/29/2022

DECLARATION REGARDING CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 8172, Civil Code).

Lender's Name: Calcon mutual mortgage LLC Branch Designation: OneTrust Home loans

Lender's Address: 3131 Camino Del Rio North Suite 1680, San Diego, CA 92108

WORKERS' COMPENSATION DECLARATION (Please only check one box)

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Policy Number: NO Employee's

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier: _____

Carrier Policy Number: _____ Expiration Date: _____

Name of Agent: _____ Phone Number: _____

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

For any of the boxes checked in the Workers Compensation above (only check one box) please sign here:

Signature of Applicant: Steve Bulef Date: 4/29/2022

APPLICANT'S DECLARATION (Please check all four boxes)

By my signature below, I certify to each of the following:

- I am the property owner or authorized to act on the property owner's behalf.
- I have read this application and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Signature of Property Owner or Authorized Agent: Jason Freely Date: 4/29/22

SAVE AS **CLEAR** **PRINT**

Electronic/Digital Signature Disclosure

I understand and agree that (i) electronically signing and submitting any document(s) to the City of Roseville legally binds me in the same manner as if I had signed in a non-electronic or non-digital form, and (ii) the electronically stored copy of my signature, any written instruction or authorization and any other document provided to me by the City of Roseville, is considered to be the true, accurate and legally enforceable record in any proceeding to the same extent as if such documents were originally generated and maintained in printed form. I agree not to contest the admissibility or enforceability of the City of Roseville's electronically stored copy of any other documents.

By using the system to electronically sign and submit any document, I agree to the terms and conditions of this Electronic/Digital Signature Disclosure

Signature: _____

Steph Burchat

Date: _____

4/29/2022

**Placer County Air Pollution Control District
Certification of Compliance with Rule 225
For City of Roseville
Residential Construction**

Placer County Air Pollution Control District
110 Maple Street, Auburn, CA 95603
(530) 745-2330
Fax (530) 745-2373
www.placerair.org

California Building Code requirements and Rule 225, Wood Burning Appliances, adopted by the Placer County Air Pollution Control District require that wood burning appliances meet certain standards and conditions.

Residential building permit applicants are required to certify to their understanding and compliance with the standards and conditions stated herein. Please complete this certification of compliance.

Facility Information

Applicant Name

Steve Benedict

Project / Business / Facility Address

319 Clinton Ave Roseville, CA 95678

Building Permit Number

APN

- Wood Burning Appliances:** Wood burning appliances (e.g. stoves, inserts, and fireplaces) installed by the applicant in a new or renovated single family residence shall be listed in the *EPA-Certified Wood Heater Database* as currently EPA certified to the 2020 "Step 2" emission limits set by U.S. EPA New Source Performance Standards (40 CFR Part 60, subpart AAA, Standards of Performance for New Residential Wood Heaters). [2010 CalGreen Code; District Rule 225, Wood Burning Appliances]
- Single Family Residences with More Than One Wood Burning Appliance:** Where the applicant is installing more than one (1) wood burning appliance (e.g. stove, fireplace, or insert), indoors or outdoors, then the aggregate emission rate (or sum of the emission rates) of all units at the residence shall not exceed 2.5 g/hr. If a residence already has a fireplace or an uncertified appliance installed, then this limit has already been exceeded and no more wood burning appliances can be installed. Contact the air district to determine if more than one EPA-certified unit may be installed. [District Rule 225, Wood Burning Appliances]
- Multiple Unit Residential Developments:** For multi-family developments, wood burning appliances, (e.g. stoves inserts and fireplaces) and pellet stoves are not allowed within the residential units. Wood burning appliances may only be installed in common areas and must be certified to meet EPA "Step 2" emission limits. [District Rule 225, Wood Burning Appliances]

Information Resources:

Information on wood burning appliance requirements; the complete text of District Rule 225, Wood Burning Appliances; and a link to the *EPA-Certified Wood Heater Database*, are available on the District web site, www.placerair.org. You may contact the District at (530) 745-2330 for more information.

APPLICANT SIGNATURE

I affirm that I have read and understood the above requirements of Placer County Air Pollution Control District rules and acknowledge it is my responsibility to ensure this project meets the requirements noted herein. I further understand that compliance is enforceable by the District.

Applicant Signature

Steve Benedict

Date

4/9/2022

Waste Management Plan (WMP)

PART ONE

Project Address: <u>319 Clinton Ave</u>	Name of Owner: <u>Taylor Finley</u>
Project Name: <u>ADU 998 sq ft new build</u>	Phone: _____
Name of Contractor: <u>Steve Benedict</u>	Email: _____
Phone: _____	Address: <u>319 Clinton Ave, Roseville, CA</u>
Email: _____	
Address: _____	

Description of Work

Choose one:	<input type="checkbox"/> Non-residential	<input checked="" type="checkbox"/> Residential	Estimate Construction Cost \$ <u>200,000</u>
<input checked="" type="checkbox"/> New Construction – sq. ft. <u>998</u>	<input type="checkbox"/> Addition and/or Alteration – sq. ft. _____	<input type="checkbox"/> Demolition	
Please provide a brief description of work: <u>new ADU detached build</u>			

Please Choose One

<input type="checkbox"/> OPTION 1 Contract with the City of Roseville, Solid Waste Division for services. a) Fill out Part One of the Waste Management Plan (WMP) b) Contact the City of Roseville, Solid Waste Division to set up services c) Notify the City of Roseville, Solid Waste Division upon completion of the project d) Contact the Building Department for final sign off	<input type="checkbox"/> OPTION 2 Contract with an approved non-exclusive franchised Hauler for hauling services. a) Fill out Part One of the Waste Management Plan (WMP) b) Contact a non-exclusive hauler from the City approved list c) Fill out Part Two of the WMP During the project.... d) Keep all weight tickets, receipts etc. e) Prior to final sign off, submit Part Three of the WMP to the Solid Waste Division for approval f) Contact the building department to schedule a final	<input checked="" type="checkbox"/> OPTION 3 Self Haul a) Fill out Part One of the WMP b) Fill out Part Two of the WMP During the project.... c) Keep all weight tickets, receipts etc. d) Prior to final sign off, submit Part Three of the WMP to the Solid Waste Division for approval e) Contact the building department to schedule a final
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Please submit this Waste Management Plan by email to SCST@Roseville.ca.us or by fax to 916-774-5798. If you have questions or need assistance completing this Waste Management Plan, please call 916-774-5780.

Waste Management Plan (WMP)

PART TWO

Self Haul or Non-Exclusive Franchised Hauler Choose one

Non-Exclusive Waste Hauler? Please identify from the approved haulers list _____

Will source-separation of recyclables occur on the jobsite by you or any subcontractors? YES NO

Recycling Plan – Please identify the waste materials expected to be generated from your project site and the facility where you will dispose/recycle the material.

Material Type	Non-Exclusive Franchise Hauler or Recycler	Provide the names of facilities where you will take your materials?	Estimate Total Tons
Asphalt & Concrete			
Brick, Tile, Stone	N/A		
Dirt/Clean Fill			
Cardboard/Paper	✓	Western Regional Landfill	0.25
Drywall	✓	Western Regional Landfill	1
Carpet padding/Foam			
Scrap Metals	✓	ming's metals	0.50
Wood, pallets, brush, trees, stumps, etc.	✓	Western Regional Landfill	1
Mixed C&D Debris	✓	Western Regional Landfill	0.25
Garbage	✓	Western Regional Landfill	0.50
Other			
Other			
Other			

Terms and conditions:

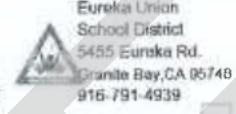
- City staff may enter the jobsite to inspect waste collection areas
- Per CALGreen, the California Green Building Code, 65% of all C&D debris generated must be recycled.
- All mixed Construction and Demolition material generated in the City of Roseville, shall be delivered to the Materials Recovery Facility at 3033 Fiddymnt Rd. Roseville, CA.
- Only approved Non-Exclusive Franchise Haulers may be hired to collect and transport trash or mixed C&D material off of the jobsite
- Construction and Demolition Debris may not be burned or dumped illegally
- Part Three, The Waste Generation and Disposal Report, must be completed and submitted prior to your final inspection.
- You must keep all receipts or weight-tickets from your project or a period of one year from the submittal of your Waste Generation and Disposal Report.

I have read, understand, and take responsibility for this project's compliance with CALGreen and Chapter 9.17.010 of the City of Roseville's Municipal Code.

Signature *Sue Bardot* Date 4/29/2022

Please submit this Waste Management Plan by email to SCST@Roseville.ca.us or by fax to 916-774-5798. If you have questions or need assistance completing this Waste Management Plan, please call 916-774-5780.

CERTIFICATION OF DEVELOPMENT FEES



Please contact the applicable school districts to pay school development fees.

PROPERTY LOCATION	
Property Address: 319 Clinton Ave. Roseville, CA 95678 Unit A	Lot/Suite Number: 7
Subdivision Name:	
APN: 014-192-025-000	

PROPERTY OWNER INFORMATION
Property Owner: Taylor Finley
Address: 319 Clinton Ave., Roseville, CA 95678

APPLICANT INFORMATION	
Contact Name: Steve Benedict	
Company Name: Steve Benedict Construction	
Address: 6407 Morahan Place, Loomis, CA	
Phone Number:	Email Address:
Applicant Signature: Steve Benedict	Date: 1/19/2022

PROJECT INFORMATION COMPLETED BY CITY OF ROSEVILLE	
Building Type: Notes: 998 sq. ft. New Accessory Dwelling Unit - Residential	
Residential <input type="checkbox"/> SFD <input type="checkbox"/> Duplex/Halfplex/Condo <input type="checkbox"/> Multifamily - ___ units <input type="checkbox"/> Addition <input type="checkbox"/> Mobile Home	
Master Plan <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Exempt (Remodel/Addition - 500 sq. ft. or less)	newly constructed building
Age Restricted <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Commercial <input type="checkbox"/> New	Specific Plan: Choose One <input type="checkbox"/> Infill
Square Feet of Chargeable Area: 998	Record/Permit Number: BD22-2534
Staff Signature: Craig Firenze-Tessendorff	Date: 7/7/2022

TO BE COMPLETED BY SCHOOL DISTRICT			
Residential Fee (SF or DU)			
(A) Square Feet: 998	X \$ 2.89	Per Sq. Ft. = \$ 2,884.22	
(B) DU's	X \$	DU's = \$ 0.00	
Commercial/Industrial Fee:			
(A) Square Feet	X \$	Per Sq. Ft. = \$ 0.00	
Study Area:	Paid <input type="checkbox"/> Choose One	District Permit No.	
91 RCSD Choose One	92 EUSD Choose One	93 DCJSD Choose One	

Notice to Applicant: Pursuant to Chapter 549, statutes of 1996, this will serve to notify you that the 90-day approval period in which you may protest any imposed fees, description of dedications, reservations or other exactions will begin to run from the approved date as indicated on the building permit which describes the fees, description of dedications, reservations or other exactions.

This certification covers only the amount of square footage or number of dwelling units indicated above. Any modifications to this project will require an amendment to the Mitigation Release. As the authorized school district official, I hereby certify that the requirements of Government Code Section 65995 have been complied with by the above signed applicant.

District Signature: <i>SBCalmo</i>	Date: 7-12-22
Account Codes:	
FD RESC Y OBJT TY GOAL FUNC SCH L1 L2 L3 Amount	
25 8800 0 8681 98 0000 00 000 00	
25 8800 0 8681 99 0000 00 000 00	
25 0 8681 0000 00 000 00	

CERTIFICATION OF DEVELOPMENT FEES



Please contact the applicable school districts to pay school development fees.

PROPERTY LOCATION	
Property Address: 319 Clinton Ave. Roseville, CA 95678 Unit A	Lot/Suite Number: 7
Subdivision Name:	
APN: 014-192-025-000	

PROPERTY OWNER INFORMATION
Property Owner: Taylor Finley
Address: 319 Clinton Ave., Roseville, CA 95678

APPLICANT INFORMATION	
Contact Name: Steve Benedict	
Company Name: Steve Benedict Construction	
Address: 6407 Morahan Place, Loomis, CA	
Phone Number:	Email Address:
Applicant Signature: <i>Steve Benedict</i>	Date: 1/19/2022

PROJECT INFORMATION COMPLETED BY CITY OF ROSEVILLE	
Building Type: Notes: 998 sq. ft. New Accessory Dwelling Unit - Residential	
Residential <input type="checkbox"/> SFD <input type="checkbox"/> Duplex/Halfplex/Condo <input type="checkbox"/> Multifamily - ___ units <input type="checkbox"/> Addition <input type="checkbox"/> Mobile Home	
Master Plan <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Exempt (Remodel/Addition - 500 sq.ft. or less)	newly constructed building
Age Restricted <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Commercial <input type="checkbox"/> New Specific Plan: Choose One <input type="text" value="infill"/>	
Square Feet of Chargeable Area: 998	Record/Permit Number: BD22-2534
Staff Signature: Craig Firenze-Tessendorff	Date: 7/7/2022

TO BE COMPLETED BY SCHOOL DISTRICT			
Residential Fee (SF or DU)			
(A) Square Feet	998	X \$	1.62
(B) DU's		X \$	
Commercial/Industrial Fee:			
(A) Square Feet		X \$	
Study Area:	404A	Paid <input checked="" type="checkbox"/> <input type="checkbox"/> Choose One	Check # 263
91 RCSD	<input type="text" value="Choose One"/>	92 EUSD	<input type="text" value="Choose One"/>
		93 DCJSD	<input type="text" value="Choose One"/>

CIW 9804

Notice to Applicant: Pursuant to Chapter 549, statutes of 1996, this will serve to notify you that the 90-day approval period in which you may protest any imposed fees, description of dedications, reservations or other exactions will begin to run from the approved date as indicated on the building permit which describes the fees, description of dedications, reservations or other exactions.

This certification covers only the amount of square footage or number of dwelling units indicated above. Any modifications to this project will require an amendment to the Mitigation Release. As the authorized school district official, I hereby certify that the requirements of Government Code Section 65995 have been complied with by the above signed applicant.

District Signature: <i>Al Craig</i>	Date: 07/18/2022
Account Codes:	
FD RESC Y OBJT TY GOAL FUNC SCH L1 L2 L3 Amount	
25 8800 0 8681 98	0000 00 000 00
25 8800 0 8681 99	0000 00 000 00
25	0 8681 0000 00 000 00

GENERAL NOTES:

- WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE-THIRD AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSION. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR (4) INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAP.
- POTABLE WATER OUTLETS WITH HOSE ATTACHMENTS, OTHER THAN WATER HEATER DRAINS, BOILER DRAINS AND CLOTHES WASHERS SHALL BE PROTECTED BY A NON-REMOVABLE HOSE-BIB TYPE BACKFLOW PREVENTER, A NON-REMOVABLE HOSE-BIB TYPE VACUUM BREAKER OR BY ATMOSPHERIC VACUUM BREAKER INSTALLED AT LEAST 6" ABOVE THE HIGHEST POINT OF USAGE LOCATED ON THE DISCHARGE SIDE OF THE LAST VALVE.
- SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION WITH A MAXIMUM ALLOWABLE WATER TEMP. OF 120 F.
- STORAGE TYPE WATER HEATERS SHALL BE PROVIDED WITH AN APPROVED, LISTED, ADEQUATELY SIZED COMBINATION PRESSURE AND TEMPERATURE RELIEF VALVE. WHERE A PRESSURE REDUCING VALVE IS REQUIRED, A LISTED EXPANSION TANK OR OTHER DEVICE SHALL BE INSTALLED TO CONTROL INTERMITTENT THERMAL EXPANSION [PER CPC]
- DOMESTIC CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES, SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER. SCREENS SHALL NOT BE USED TO PREVENT PIT TERMINATION. DUCTS FOR EXHAUSTING CLOTHES DRYERS SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREWS OR OTHER FASTENERS WHICH WILL OBSTRUCT THE FLOW. [PER C.M.C.]
- SHOWERS AND TUB/SHOWER COMBINATIONS SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE [TILE] OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE THE FINISH FLOOR.
- GLAZING AT SHOWERS AND TUB ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS, OR APPROVED PLASTICS. [PER C.R.C.]
- ESCAPE OR RESCUE WINDOWS SHALL HAVE A NET CLEAR OPENING AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING AREA SHALL HAVE AN OPENING OF 24 INCHES. THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE THEY SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44 INCHES ABOVE THE FLOOR. [PER C.R.C.]
- EACH PANEL OF SAFETY GLAZING MATERIAL INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY PERMANENT MANUFACTURE DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURE OR INSTALLER AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES AS WELL AS THE INFORMATION SPECIFIED SHALL BE ACID ETCHED, SAND BLASTED OR CERAMIC FIRED, LASER ETCHED, EMBOSSED OR OF A TYPE THAT ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED.
- WHEN A CLOSET IS DESIGNATED FOR THE INSTALLATION OF A CLOTHES DRYER A MINIMUM OPENING OF 100 SQUARE INCHES FOR MAKE-UP AIR SHALL BE PROVIDED IN THE DOOR OR BY OTHER APPROVED MEANS. [PER C.M.C.]
- INSTALLATION OF LISTED MICRO WAVE OVEN OVER A LISTED COOKING TOP. THE INSTALLATION OF A LISTED COOKING TOP SHALL CONFORM TO THE CONDITIONS OF THE LISTING. CLEARANCES OF LISTED APPLIANCES FROM COMBUSTIBLE MATERIALS SHALL BE AS SPECIFIED ON THE LABEL. THE MAXIMUM HEAT SOURCE FROM THE COOKING TOP SHALL BE SPECIFIED ON THE LABEL OF THE APPLIANCE IN BTU OR KILOWATT. [PER C.E.C.]
- UNLESS OTHERWISE PERMITTED OR RESTRICTED BY THE DRYER MANUFACTURE'S INSTALLATION INSTRUCTIONS AND APPROVED BY THE BUILDING OFFICIAL, DOMESTIC CLOTHES DRYER EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. [PER C.M.C.]
- RELIEF VALVES LOCATED INSIDE A BUILDING SHALL BE PROVIDED WITH A DRAIN NOT SMALLER THAN THE RELIEF VALVE OUTLET OF GALVANIZED STEEL, HARD-DRAWN COPPER PIPING AND FITTINGS, CPVC OR LISTED RELIEF VALVE DRAIN TUBE WITH FITTINGS THAT WILL NOT REDUCE THE INTERNAL BORE OF THE PIPE OR TUBING (STRAIGHT LENGTHS AS OPPOSED TO COILS) AND SHALL EXTEND FROM THE VALVE TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN TWO (2) FEET NOR LESS THAN SIX (6) INCHES ABOVE GROUND OR THE FLOOR LEVEL OF THE AREA AND POINTING DOWNWARD. SUCH DRAINS MAY TERMINATE AT OTHER APPROVED LOCATIONS. RELIEF VALVE DRAINS SHALL NOT TERMINATE IN A BUILDING'S CRAWL SPACE. NO PART OF SUCH DRAIN PIPE SHALL BE TRAPPED OR SUBJECT TO FREEZING. THE TERMINAL END OF THE DRAIN PIPE SHALL NOT BE THREADED.
- SMOKE DETECTORS SHALL BE INSTALLED IN, REGARDLESS OF OCCUPANT LOAD, AT THE FOLLOWING LOCATIONS: ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS, IN EACH ROOM USED FOR SLEEPING PURPOSE AND IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLING OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN ADJACENT LEVELS, THE SMOKE DETECTOR INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. [PER C.R.C.]
- IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE DETECTORS WILL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN IS REQD. FOR OVERCURRENT PROTECTION.
- GARAGE SEPARATION: THE PRIVATE GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF A MINIMUM 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN A 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND THE DWELLING UNIT SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK, OR DOORS IN COMPLIANCE WITH 2019 CRC. OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. DOORS SHALL BE SELF-CLOSING AND SELF-LATCHING. [PER C.R.C.]
- PROVIDE ADEQUATE LIGHT AND VENTILATION IN HABITABLE ROOMS WITHIN A DWELLING UNIT. [PER C.R.C.]
- BATHROOMS, WATER CLOSETS, COMPARTMENTS, LAUNDRY ROOMS AND SIMILAR ROOMS SHALL BE PROVIDED WITH NATURAL OR MECHANICAL VENTILATION.

- THE WALLS AND SOFFITS UNDER WITHIN USABLE SPACES UNDER ENCLOSED AND UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY 1-HOUR FIRE-RESISTANCE RATED CONSTRUCTION OR THE FIRE-RESISTANCE RATING OF THE STAIRWAY ENCLOSURE, WHICHEVER IS GREATER. ACCESS TO THE ENCLOSED SPACE SHALL NOT BE DIRECTLY FROM WITHIN THE STAIR ENCLOSURE. [PER C.R.C.] EXCEPTION: SPACES UNDER STAIRWAYS SERVING AND CONTAINED WITHIN A SINGLE RESIDENTIAL DWELLING UNIT IN GROUP R-2 OR R-3 SHALL BE PERMITTED TO BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- NO WATER CLOSET OR BIDET SHALL BE SET CLOSER THAN FIFTEEN INCHES FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION OR CLOSER THAN 30 INCHES CENTER TO CENTER TO ANY SIMILAR FIXTURE.
- FACTORY BUILT CHIMNEYS AND FACTORY BUILT FIREPLACES SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE TERMS OF THEIR LISTING AND THE MANUFACTURER'S INSTRUCTIONS. [PER C.R.C.]
- NO DOMESTIC DISHWASHER SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHER MACHINE. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD-LEVEL MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAIN BOARD, WHICHEVER IS HIGHER.
- ALL PIPING AND CONNECTIONS OF FIRE RESISTANCE RATED WALLS, PARTITIONS, FLOORS, FLOORING, ASSEMBLIES, ROOFCEILING ASSEMBLIES OR SHAFT ENCLOSURES SHALL BE PROTECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE, IAMPC INSTALLATION STANDARDS, AND CHAPTER 15, FORESTOP PROTECTION. [PER C.P.C.]
- NO UNDER-FLOOR CLEANOUT SHALL BE LOCATED EXCEEDING 5 FEET FROM AN ACCESS DOOR, TRAP DOOR OR CRAWL HOLE. [PER C.P.C.]
- ALL GAS UTILIZATION EQUIPMENT SHALL BE LOCATED WITH RESPECT TO BUILDING CONSTRUCTION AND OTHER EQUIPMENT SO AS TO PERMIT ACCESS TO THE GAS UTILIZATION EQUIPMENT. SUFFICIENT CLEARANCE SHALL BE MAINTAINED TO PERMIT CLEANING OF HEATING SURFACES, THE REPLACEMENT OF FILTERS, BLOWERS, MOTORS, BURNERS, CONTROLS AND VENT CONNECTORS PLUS THE LUBRICATION OF MOVING PARTS WHERE NECESSARY AND THE ADJUSTMENT AND CLEANING OF BURNERS AND PILOTS AND THE PROPER FUNCTIONING OF EXPLOSION VENTS, IF PROVIDED. FOR ATTIC INSTALLATION, THE INSTALLATION, THE PASSAGEWAY AND SERVICING AREA ADJACENT TO THE EQUIPMENT SHALL BE FLOORED. [PER C.P.C.]
- ALL GAS UTILIZATION EQUIPMENT CONNECTED TO A PIPING SYSTEM SHALL HAVE AN ACCESSIBLE APPROVED MANUAL SHUT-OFF VALVE WITH A NO DISPLACEABLE VALVE MEMBER, OR LISTED GAS CONVENIENCE OUTLET LOCATED WITHIN 6 FEET OF THE EQUIPMENT IT SERVES. WHERE A CONNECTOR IS USED, THE VALVE SHALL BE INSTALLED UPSTREAM OF THE CONNECTOR. A UNION OR FLANGED CONNECTION SHALL BE PROVIDED TO PERMIT THE REMOVAL OF THE PERMIT REMOVAL OF CONTROLS, SHUT-OFF VALVES SERVING DECORATIVE GAS APPLIANCES SHALL BE PERMITTED TO BE INSTALLED IN FIREPLACES IF LISTED FOR SUCH USE.
- GAS VENTS SHALL TERMINATE NOT LESS THAN 2 FEET ABOVE THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF A BUILDING WITHIN 10 FEET. GAS VENTS SMALLER THAN 12 INCHES IN DIAMETER SHALL TERMINATE AT LEAST 1 FOOT ABOVE THE ROOFS UP TO A 6:12 PITCH AND AT LEAST 8 FEET FROM ANY PORTION OF THE BUILDING. FOR HIGHER ROOF PITCHES REFER TO FIGURE B-2 CMC 802.6.2.
- SINGLE WALL METAL PIPE SHALL NOT ORIGINATE IN ANY ATTIC OR CONCEALED SPACES AND SHALL NOT PASS THROUGH AN ATTIC, INSIDE WALL OR CONCEALED SPACE OR FLOOR.
- GAS UTILIZATION EQUIPMENT IN RESIDENTIAL GARAGES AND IN ADJACENT SPACES THAT OPEN TO THE GARAGE AND ARE NOT A PART OF THE LIVING SPACE OF A DWELLING UNIT SHALL BE INSTALLED SO THAT ALL BURNERS AND BURNER-IGNITION DEVICES ARE LOCATED NOT LESS THAN 18" ABOVE THE FLOOR UNLESS LISTED AS FIRE-RATED OR IGNITION RESISTANT. SUCH EQUIPMENT SHALL BE LOCATED OR PROTECTED SO IT IS NOT SUBJECT TO PHYSICAL DAMAGE BY A MOVING VEHICLE. [PER C.P.C.]
- GLAZING ADJACENT TO AND WITHIN 24" OF EITHER EDGE OF A DOOR SHALL BE TEMPERED. [PER C.R.C.]
- LAUNDRY CHUTE (IF APPLICABLE) TO HAVE FIRE-RESISTIVE INNER LINING OF NOT LESS THAN 26 GAUGE GALVANIZED SHEET METAL WITH ALL JOINTS LOCK LAPPED. ALL OPENINGS INTO CHUTE SHALL BE PROTECTED BY NOT LESS THAN A SELF-CLOSING SOLID-WOOD DOOR 1-3/4" THICK.
- GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOORS SHALL BE DESIGNATED AS TEMPERED. THERE SHALL BE A MANUFACTURE'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, DESIGNATING THE TYPE OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, WHICH IS VISIBLE IN THE FINAL INSTALLATION.
- DRAFTSTOPPING SHALL BE INSTALLED WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW IN FLOOR/CEILING ASSEMBLIES AND INSTALLED SO THAT THE AREA OF A CONCEALED SPACE DOES NOT EXCEED 1000 SQ. FT., IN WALLS AT STAIR STRINGERS [TOP & BTM.], AT SOFFITS, DROP CEILING, COVE CEILING AND AT OPENINGS AROUND DUCTS, VENTS AND FITTINGS. FIRE STOPPING SHALL BE PROVIDED VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
- THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH SHALL NOT BE LESS THAN THE DOOR SERVED AND THE LENGTH OF LANDINGS SHALL BE MIN. 36" IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS MAY BE PERMITTED TO SLOPE NOT TO EXCEED 3/4 UNITS VERTICAL ON THE SIDE OF THE GARAGE.
- ALL PLASTIC PIPE AND FITTINGS, OTHER THAN THOSE USED FOR GAS, SHALL MEET THE REQUIREMENTS OF NATIONAL SANITATION FOUNDATION 14.
- ALL PIPE, TUBE, FITTINGS, SOLVENT, CEMENT, THREAD SEALANT, SOLDER, AND/OR FLUX USED IN POTABLE WATER SYSTEMS INTENDED TO SUPPLY DRINKING WATER SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF NATIONAL SANITATION FOUNDATION 61.
- GAS LINE PRESSURE TESTING IS NOW 10 PSI FOR 15 MINUTES AND WELDED PIPING IS 60 PSI FOR 30 MINUTES.
- A GAS SUPPLY LINE WITH THE CAPACITY TO PROVIDE A MINIMUM OF 200,000 BTU/HR. TO THE WATER HEATER SHALL BE INSTALLED.
- A CATEGORY III, IV, OR A TYPE B VENT WITH A STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS LOCATED SHALL BE INSTALLED.
- A CONDENSATE DRAIN THAT IS A MAXIMUM OF TWO INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER THAT ALLOWS NATURAL DRAIN WITHOUT PUMP ASSISTANCE SHALL BE INSTALLED.

STAIRWAYS, HANDRAILS AND GUARDS

- IN GROUP R-3 AND GROUP U OCCUPANCIES THAT ARE ACCESSORY TO A GROUP R-3 OCCUPANCY, THE MAXIMUM RISER HEIGHT SHALL BE 7-3/4", THE MINIMUM TREAD DEPTH SHALL BE 10", THE MINIMUM WINDER TREAD DEPTH AT THE WALK LINE SHALL BE 10" AND THE MINIMUM WINDER TREAD

- DEPTH SHALL BE 6". A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1-1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD DEPTH IS LESS THAN 11" [PER C.R.C.]
- STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 50 SHALL HAVE A WIDTH OF NOT LESS THAN 36"
- STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80" MEASURED VERTICALLY FROM A SLOPED LINE ADJOINING THE TREAD NOSING [PER C.R.C.]
- STAIR TREADS AND RISERS SHALL BE OF UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER HEIGHT OR THE LARGEST AND SMALLEST TREAD DEPTH SHALL NOT EXCEED 3/8" IN ANY FLIGHT OF STAIRS. THE GREATEST WINDER TREAD DEPTH AT THE 12" WALK LINE WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" MEASURED AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE.
- THERE SHALL BE A FLOOR OR LANDING AT THE BOTTOM AND TOP OF EACH STAIRWAY. THE WIDTH OF LANDINGS SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAYS THEY SERVE. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF TRAVEL EQUAL TO THE WIDTH OF THE STAIRWAY. SUCH DIMENSION NEED NOT EXCEED 48" WHERE THE STAIRWAY HAS A STRAIGHT RUN. [PER C.R.C.]
- DOORS OPENING ONTO A LANDING SHALL NOT REDUCE THE LANDING TO LESS THAN ONE-HALF THE REQUIRED WIDTH WHEN FULLY OPEN AND THE DOOR SHALL NOT PROJECT MORE THAN 7" INTO THE LANDING. [PER C.R.C.]
- THE WALLS AND SOFFITS WITHIN ENCLOSED USABLE SPACES UNDER ENCLOSED AND UNENCLOSED STAIRWAYS SHALL BE PROTECTED BY 1-HOUR FIRE-RESISTANCE RATED CONSTRUCTION OR THE FIRE-RESISTANCE RATING OF THE STAIRWAY ENCLOSURE, WHICHEVER IS GREATER. ACCESS TO THE ENCLOSED SPACE SHALL NOT BE DIRECTLY FROM WITHIN THE STAIR ENCLOSURE. [PER C.R.C.] EXCEPTION: SPACES UNDER STAIRWAYS SERVING AND CONTAINED WITHIN A SINGLE RESIDENTIAL DWELLING UNIT IN GROUP R-2 OR R-3 SHALL BE PERMITTED TO BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- CURVED STAIRWAYS WITH WINDER TREADS SHALL HAVE TREADS AND RISERS WITH THE SMALLEST RADIUS NOT LESS THAN TWICE THE REQUIRED WIDTH OF THE STAIR.
- HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSING OR FINISH SURFACE OF RAMP SLOPE SHALL BE UNIFORM, NOT LESS THAN 34" AND NOT MORE THAN 38"
- HANDRAILS WITH A CIRCULAR CROSS-SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1-1/4" AND NOT GREATER THAN 2" OR SHALL PROVIDE EQUIVALENT GRASPABILITY. IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6-1/4" WITH A MAXIMUM CROSS-SECTION DIMENSION OF 2-1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF .01" [PER C.R.C.]
- HANDRAIL-GRIPPING SURFACES SHALL BE CONTINUOUS WITHOUT INTERRUPTION BY NEWEL POSTS OR OTHER OBSTRUCTION. [PER C.R.C.] EXCEPTION: HANDRAIL WITHIN DWELLING UNITS ARE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A STAIR OR RAMP LANDING. WITHIN A DWELLING UNIT THE USE OF A VOLUTE, TURNOUT OR STARTING RASING IS ALLOWED ON THE LOWEST TREAD. HANDRAILS SHALL RETURN TO A WALL, GUARD OR THE WALKING SURFACE OR SHALL BE CONTINUOUS TO THE HANDRAIL IF AN ADJACENT STAIR FLIGHT OR RAMP RUN. [PER C.R.C.] EXCEPTION: HANDRAILS WITHIN A DWELLING UNIT THAT IS NOT REQUIRED TO BE ACCESSIBLE NEED EXTEND ONLY FROM THE TOP RISER TO THE BOTTOM RISER.
- GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, MEZZANINES, INDUSTRIAL EQUIPMENT PLATFORMS, STAIRWAYS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW. [PER C.R.C.]
- GUARDS SHALL FORM A PROTECTIVE BARRIER NOT LESS THAN 42" MEASURED VERTICALLY ABOVE THE LEADING EDGE OF THE TREAD, ADJACENT WALKING SURFACE OR ADJACENT SEATBOARD. [PER C.R.C.]
- THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL AT THE OPEN SIDE OF A STAIRWAY SHALL BE OF A MAXIMUM SIZE SUCH THAT A SPHERE OF 6" IN DIAMETER CANNOT PASS THROUGH THE OPENING. WITHIN INDIVIDUAL DWELLING UNITS IN GROUP R-2 AND R-3 OCCUPANCIES, OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE OF 4-3/8" TO PASS THROUGH.
- THE MINIMUM CLEAR WIDTH OF A STAIRWAY NEEDS TO BE 36". HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" INTO THE CLEAR WIDTH LEAVING 31-1/2" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27" CLEAR WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.
- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OR FLIGHT OF STAIRS WITH 4 OR MORE RISERS. [PER C.R.C.]
- THE WALKING SURFACE OF TREADS AND LANDINGS OF STAIRWAYS SHALL BE SLOPED NO STEEPER THAN ONE UNIT VERTICAL IN 48" HORIZONTAL. [26] [PER C.R.C.]
- HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABV. THE TOP RISER TO A POINT DIRECTLY ABV. THE LOWEST RISER. HANDRAIL

VICINITY MAP



ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJ. TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL AND HANDRAILS.

GENERAL ELECTRICAL NOTES:

- IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLES OUTLET SHALL BE INSTALLED IN ACCORDANCE WITH THE GENERAL PROVISIONS SPECIFIED. (A) ANY SPACE 2 FEET OR MORE IN WIDTH (INCLUDING SPACE MEASURED AROUND CORNERS) AND UNBROKEN ALONG THE FLOOR LINE BY DOORWAYS, FIREPLACES AND SIMILAR OPENINGS. (B) THE SPACE OCCUPIED BY FIXED PANELS IN EXTERIOR WALLS EXCLUDING SLIDING PANELS. (C) THE SPACE AFFORDED BY FIXED ROOM DIVIDERS SUCH AS FREESTANDING BAR TYPE COUNTERS. (D) SPACING: RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM A RECEPTACLE OUTLET. [PER C.E.C.]
- IN KITCHEN, PANTRY, BREAKFAST NOOK, DINING ROOM OR SIMILAR AREA OF A DWELLING UNIT, THE TWO OR MORE 20 AMP SMALL APPLIANCE BRANCH CIRCUITS REQUIRED BY 210.11 (C)(1) SHALL SERVE ALL WALL AND FLOOR RECEPTACLE OUTLETS COVERED BY 210.52 (A), ALL COUNTERTOP OUTLETS COVERED BY 210.52 (J) AND RECEPTACLE OUTLETS FOR REFRIGERATION EQUIPMENT.
- THE TWO OR MORE SMALL-APPLIANCE BRANCH CIRCUITS SPECIFIED IN 210.52 (B)(1) SHALL HAVE NO OTHER OUTLETS. EXCEPTION: RECEPTACLES INSTALLED TO PROVIDE POWER FOR SUPPLEMENT EQUIPMENT AND LIGHTING ON GAS-FIRED RANGES, OVENS, OR COUNTER-MOUNTED COOKING UNITS. [PER C.E.C.]
- A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH WALL COUNTER SPACE THAT IS 12" OR WIDER. RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. [PER C.E.C.]
- AT LEAST ONE RECEPTACLE SHALL BE INSTALLED AT EACH ISLAND COUNTER SPACE WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER. WHERE A RANGE TOP OR SINK IS INSTALLED IN AN ISLAND COUNTER AND THE WIDTH OF THE COUNTER BEHIND THE RANGE TOP OR SINK IS LESS THAN 12", THE RANGE TOP OR SINK IS CONSIDERED TO DIVIDE THE ISLAND INTO TWO SEPARATE COUNTERTOP SPACES.
- AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH PENINSULAR COUNTER SPACE WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER. IN DWELLING UNITS, AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BASIN. [PER C.E.C.]
- AT LEAST ONE RECEPTACLE OUTLET ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN 6-1/2 FEET ABOVE GRADE SHALL BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING. [PER C.E.C.]
- HALLWAYS OF 10 FEET OR MORE IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET. [PER C.E.C.]
- ALL 125 VOLT, SINGLE-PHASE, 15 AND 20 AMP RECEPTACLES INSTALLED IN THE LOCATIONS SPECIFIED SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONAL BATHROOMS, GARAGES AND ALSO ACCESSORY BUILDINGS THAT HAVE A FLOOR LOCATED AT OR BELOW GRADE LEVEL. NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREA, WORK AREAS AND AREAS OF SIMILAR USE, OUTDOORS CRAWL SPACES AT OR BELOW GRADE LEVEL, UNFINISHED BASEMENTS, ROOFTOPS, KITCHENS WHERE THE RECEPTACLES ARE INSTALLED TO SERVE THE COUNTERTOP SURFACES, LAUNDRY, UTILITY OR WET BAR SINKS AND BOATHOUSES. [PER C.E.C.]
- ALL 120 VOLT SINGLE-PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, DINING ROOMS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, REC. ROOMS, CLOSETS, LAUNDRY AREA'S, HALLWAYS AND SIMILAR ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. [PER C.E.C.]
- A 125 VOLT, SINGLE-PHASE 15 OR 20AMP-RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR-CONDITIONING AND REFRIGERATION EQUIPMENT.
- AT LEAST ONE LIGHTING OUTLET CONTROLLED BY A LIGHT SWITCH LOCATED AT THE POINT OF ENTRY TO THE ATTIC, UNDERFLOOR SPACE, UTILITY SPACE AND BASEMENT SHALL BE INSTALLED WHERE THESE SPACES ARE USED FOR STORAGE OR CONTAIN EQUIPMENT REQUIRING SERVICING. [PER C.E.C.]
- WET LOCATIONS: A RECEPTACLE INSTALLED IN A WET LOCATION SHALL BE IN A WEATHERPROOF ENCLOSURE, THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN THE ATTACHMENT PLUG CAP IS INSERTED. [PER C.E.C.]

MECHANICAL NOTES:

- THE TERMINATION POINT FOR ENVIRONMENTAL AIR DUCT EXHAUSTS (I.E. CLOTHES DRYERS, RANGE EXHAUSTS, BATH AND LAUNDRY EXHAUSTS DISCHARGING INTO THE ATMOSPHERE) SHALL NOT BE LESS THAN 3 FEET FROM A PROPERTY LINE OR FROM OPENINGS INTO A BUILDING.
- DUCT WORK SHALL USE PRESSURE-SENSITIVE TAPES, MASTICS, AEROSOL SEALANTS OR OTHER CLOSURE SYSTEMS MEETING APPLICABLE UL 181A AND B REQUIREMENTS. DRAWBANDS WITH FLEXIBLE DUCTS SHALL BE EITHER STAINLESS STEEL, WORM-DRIVEN HOSE CLAMPS OR UV-RESISTANT NYLON DUCT TIES. IN ADDITION, DRAWBANDS MUST HAVE A MINIMUM TENSILE STRENGTH

SQUARE FOOTAGE

ACCESSORY DWELLING UNIT :	998 SF
PORCH :	32 SF
EXISTING SFD :	1332 SF
EXISTING GARAGE :	420 SF

CLASS

OCCUPANCY : R3
CONSTRUCTION TYPE : VB

STORIES : 1
FIRE SPRINKLERS : NO
MAX. ALLOWABLE HGT. : 16'

- A 120 VOLT, SINGLE-PHASE 15 OR 20 AMP RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR-CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE INSTALLED ON THE INSIDE SIDE OF THE REQUIRED MEANS OF DISCONNECT. [PER C.E.C.]
- CONCRETE ENCASED ELECTRODE: AN ELECTRODE ENCASED BY AT LEAST 2" OF CONCRETE, LOCATED WITHIN AND NEAR THE BOTTOM OF A CONCRETE FOUNDATION OR FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF ONE OR MORE BARE OR ZINC GALVANIZED OR OTHER ELECTRICALLY CONDUCTIVE COATED STEEL REINFORCING BARS OR RODS OF NOT LESS THAN 1/2" DIAMETER, OR CONSISTING OF AT LEAST 20 FEET OF BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. REINFORCING BARS SHALL BE PERMITTED TO BE BONDED TOGETHER BY THE USUAL STEEL TIE WIRES OR OTHER EFFECTIVE MEANS. [PER C.E.C.]
- PROVIDE AN INTERSYSTEM BONDING ELECTRODE WHICH INCLUDES PROVISIONS FOR CONNECTING AT LEAST THREE GROUNDING OR BONDING CONDUCTORS REQUIRED FOR COMMUNICATIONS SYSTEMS SHALL BE INSTALLED EXTERNALLY AT THE SERVICE ENTRANCE PANEL.
- AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND BATHROOM, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, ATTACHED GARAGES, ATTACHED GARAGES, AND AT OUTDOOR ENTRANCES OR EXITS. [PER C.E.C.]
- HYDRO MASSAGE BATHTUBS AND THEIR ASSOCIATED ELECTRICAL COMPONENTS SHALL BE PROTECTED BY A GROUND-FAULT CIRCUIT INTERRUPTER. [PER C.E.C.]
- THE DISCONNECTING MEANS FOR CONDUCTORS THAT SERVE OR PASS THROUGH A BUILDING OR STRUCTURE SHALL BE INSTALLED ON THE EXTERIOR OF THE BUILDING OR STRUCTURE. THE DISCONNECTING MEANS SHALL BE AT A READILY ACCESSIBLE LOCATION NEAREST THE POINT OF ENTRANCE OF THE CONDUCTORS. FOR THE PURPOSE OF THIS SECTION, THE REQUIREMENTS IN 230.6 SHALL BE UTILIZED. ALTERNATE LOCATION OF THE DISCONNECTING MEANS MAY BE APPROVED AS THE BUILDING OFFICIAL DETERMINES IS REASONABLE AND SAFE.
- ALL INSTALLED LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH TABLE 150.0-A.
- ALL LUMINAIRES REQUIRED HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE LIGHT APPENDIX JAB, EXCEPT HALLWAYS AND CLOSETS OVER 70 SF, SHALL BE CONTROLLED BY DIMMERS OR VACANCY SENSORS. (THIS APPLIES TO ALL GU-24 LED'S AND RECESSED LUMINAIRES.)
- IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
- ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON AND ONE OF THE FOLLOWING: CONTROLLED BY PHOTOCELL AND MOTION SENSOR, PHOTO CONTROL AND AUTOMATIC SWITCH CONTROL, ASTRONOMIC TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.
- LUMINAIRES RECESSED INTO CEILINGS SHALL MEET ALL OF THE FOLLOWING: LISTED FOR ZERO CLEARANCE INSULATION, LABELLED THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH A LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALES, SEALED WITH A GASKET OR CAULK, ALLOW REPLACEMENT AND MAINTENANCE TO BE READILY ACCESSIBLE FROM BELOW THE CEILING WITHOUT CUTTING HOLES IN THE CEILING, SHALL NOT CONTAIN SCREW BASE SOCKETS AND SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH IAS.
- UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY THAN FROM OTHER LIGHTING SYSTEMS.
- SMOKE DETECTORS SHALL BE LOCATED NO LESS THAN 3' FROM THE TIP OF THE BLADE OF ANY CEILING FAN, ANY SUPPLY REGISTER OF A FORCED AIR SYSTEM OR ANY BATHROOM WITH A TUB OR SHOWER.
- OUTLET BOXES OR OUTLET BOX SYSTEMS USED AS THE SOLE SUPPORT FOR CEILING (PADDE) FANS SHALL BE LISTED, SHALL BE MARKED BY THEIR MANUF. AS SUITABLE FOR THIS PURPOSE AND SHALL NOT SUPPORT CEILING-SUSPENDED (PADDE) FANS THAT WEIGH MORE THAN [70 LB], PER SEC.
- ALL NEW 15 & 20 AMP, 125 VOLT RECEPTACLES, INCLUDING THE GARAGE DISPOSAL RECEPTACLE, WITHIN 6' OF THE KITCHEN SINK SHALL BE GFCI PROTECTED.
- THE BRANCH CIRCUIT SERVING THE GARAGE RECEPTACLES SHALL NOT SERVE OUTLETS OUTSIDE OF THE GARAGE.

MANDATORY MECHANICAL VENTILATION :

- BATHROOMS : BATHROOM IS DEFINED AS ANY ROOM CONTAINING A BATHTUB, A SHOWER, A SPA, OR SIMILAR SOURCE OF MOISTURE.
- EACH BATHROOM IS REQUIRED TO HAVE A DEDICATED EXHAUST FAN DUCTED TO THE OUTSIDE. SHALL BE CONTROLLED BY A HUMIDISTAT AND BE AN "ENERGY STAR" RATED APPLIANCE.
- IF THE BATHROOM IS EQUIPPED WITH AN INTERMITTENT OPERATED EXHAUST FAN THE MINIMUM VENTILATION RATE OF 50 CFMS IS REQUIRED.
- IF THE BATHROOM IS EQUIPPED WITH A CONTINUOUS OPERATED EXHAUST FAN IT MUST OPERATE AT A MINIMUM VENTILATION RATE OF 25 CFMS IS REQUIRED.
- THE EXHAUST FANS ARE TO BE OPERATED BY THE OCCUPANT. USUALLY A WALL SWITCH OR SOME OTHER TYPE OF CONTROL (OCCUPANCY SENSOR) THAT IS ACCESSIBLE AND OBVIOUS.
- CONTINUOUS FANS SHALL HAVE A SOUND RATING NOT TO EXCEED 3 ONE AND INTERMITTENT FANS SHALL HAVE A SOUND RATING NOT TO EXCEED 3 ONE. ALL EXHAUST FANS SHALL HAVE A BACK DRAFT DAMPER. [NOTE THAT THE EXHAUST FAN CONTROL MUST BE LABELED AS TO ITS FUNCTION]
- KITCHENS : KITCHEN IS DEFINED AS ANY ROOM CONTAINING COOKING APPLIANCES.
- EACH KITCHEN IS REQUIRED TO HAVE A DEDICATED EXHAUST FAN DUCTED TO THE OUTSIDE.
- IF THE KITCHEN IS EQUIPPED WITH AN INTERMITTENT OPERATED EXHAUST FAN A MINIMUM VENTILATION RATE OF 100 CFMS IS REQUIRED.
- IF THE KITCHEN IS EQUIPPED WITH CONTINUOUSLY OPERATING KITCHEN FAN THE FAN MUST OPERATE AT 5 AIR CHANGES PER HOUR.
- THE RANGE HOOD OVER THE STOVE MAY COMPLY WITH VENTED TO THE OUTSIDE AND HAS A MINIMUM VENTILATION RATE OF 100 CFMS.
- CLOTHES DRYER : CLOTHES DRYERS SHALL BE VENTED TO

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OCCUPANCY : R3
CONSTRUCTION TYPE : VB

STORIES : 1
FIRE SPRINKLERS : NO
MAX. ALLOWABLE HGT. : 16'

- THE OUTDOORS.
- WHOLE BUILDING VENTILATION : IN ADDITION TO THE BATHROOM AND KITCHEN EXHAUST FAN, AN EXHAUST FAN SHALL BE SIZED TO PROVIDE VENTILATION FOR THE WHOLE HOUSE.
- THE CONDITIONED FLOOR AREA'S AND THE NUMBER OF BEDROOMS IN THE HOME WILL DETERMINE THE MIN. VENTILATION RATE.
- PLEASE SEE THE 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS FOR CONTINUOUS WHOLE - BUILDING VENTILATION OR INTERMITTENT FAN OPERATION. SEE WHOLE - BUILDING VENTILATION REQUIREMENTS PER ASHRAE 62.2 OR LOCAL VENTILATION EXHAUST REQUIREMENTS PER ASHRAE 62.2 TABLE 5.1.
- ONE OF THE BATHROOM OR KITCHEN EXHAUST FANS MAY BE USED TO MEET THE WHOLE-BUILDING VENTILATION, PROVIDED THE EXHAUST FAN MEETS THE MINIMUM VENTILATION RATES FOR BOTH THE EXHAUST AND WHOLE-BUILDING VENTILATION REQUIREMENTS. THE CONTROL FOR THE WHOLE-BUILDING VENTILATION FAN CAN BE CONTROLLED BY A STANDARD ON/OFF SWITCH, BUT THE SWITCH MUST BE LABELED TO INFORM THE OCCUPANT THAT THE FAN IS PROVIDING WHOLE-BUILDING VENTILATION.
- INTERMITTENT VENTILATION SYSTEMS HAVE TO BE AUTOMATICALLY CONTROLLED BY A TIMER OR OTHER DEVICE THAT ASSURES THAT THEY WILL OPERATE THE MINIMUM AMOUNT OF TIME NEEDED TO MEET THE VENTILATION REQMT'S. THE AUTOMATIC CONTROLS SHALL MAKE SURE THAT THE FAN OPERATES AT LEAST ONE HOUR IN TWELVE.
- WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING THE WHOLE-BUILDING VENTILATION REQUIREMENTS.
- IAQ VENTILATION REQUIREMENTS SHALL BE MADE BY PROVIDING ONE CONTINUOUS OPERATING BATH OR LAUNDRY ROOM FAN. HOWEVER, IT MAY BE ON A SWITCH AS LONG AS : A: THE SWITCH IS LABELED TO STATE : "FAN SHOULD BE ON WHENEVER THE HOME IS OCCUPIED" AND B: THE SYSTEM MUST BE DESIGNED SO THAT IT CAN OPERATE ON A TIMER. THE INTERMITTENT MECHANICAL VENTILATION SYSTEM MUST OPERATE AT LEAST ONE HOUR PER DAY AND MUST OPERATE AT LEAST 10% OF THE TIME. AND C: THE VENTILATION AIRFLOW IS INCREASED TO RESPOND TO THE FEWER HOURS OF FAN OPERATION AND THE TENDENCY OF POLLUTANT CONCENTRATIONS TO BUILD UP DURING OFF CYCLES.

HAZARD CODE DATA:

- ALL CONSTRUCTION SHALL CONFORM TO THE CALIFORNIA CODE OF REGULATIONS, TITLE 24 (CCR, T-24) INCORPORATING THE LATEST EDITION OF MODEL CODES WHICH INCLUDE THE FOLLOWING :
- 2019 CALIFORNIA HISTORICAL BUILDING CODE [CHBC]
 - 2019 CALIFORNIA EXISTING BUILDING CODE [CEBC]
 - 2019 CALIFORNIA RESIDENTIAL CODE [CEC part 2.5] [appendix H, I & J]
 - 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE [CGBCS]
 - 2019 CALIFORNIA PLUMBING CODE [CPC] [appendix A]
 - 2019 CALIFORNIA MECHANICAL CODE [CMC]
 - 2019 CALIFORNIA ELECTRICAL CODE [CEC] [appendix H]
 - 2019 CALIFORNIA ELECTRICAL CODE [CEC part 6]
 - 2019 CALIFORNIA FIRE CODE [CFC]
 - 2019 CALIFORNIA ADMINISTRATIVE CODE [CAC]
 - 2019 CALIFORNIA BUILDING CODE [CBC]

SCOPE OF WORK :

SCOPE OF WORK FOR THIS PROJECT IS TO PROVIDE ALL MATERIAL AND LABOR TO BUILD A NEW 998 SQUARE FOOT ACCESSORY DWELLING UNIT.

SHEET INDEX

CS	COVER SHEET / GENERAL NOTES
SP	SITE PLAN
1	FLOOR PLAN, FOLINDATION PLAN
2	EXTERIOR ELEVATIONS
3	SHEAR WALL, ROOF FRAMING PLANS
4	BUILDING SECTIONS
5	ELECTRICAL PLAN
T2	TITLE 24 ENERGY COMPLIANCE
CS	CAL GREEN BUILDING STANDARDS
SN1	TYPICAL NOTES / SCHEDULES
SN2	TYPICAL NOTES / SCHEDULES
S01	STRUCTURAL DETAILS
PV01	PV COVER SHEET
PV02	PV SITE PLAN
PV03	PV ARRAY PLAN
PV04	PV ROOF PENETRATION LAYOUT
PV05	PV ONE LINE DIAGRAM
PV06A	PV LABELS & BOM
PV06B	PV DATASHEETS
PV06C	PV DATASHEETS
PV06D	PV DATASHEETS
PV06E	PV DATASHEETS
PV06F	PV DATASHEETS
PV06G	PV DATASHEETS
PV07A	PV CALCULATIONS

New ADU for :
319 CLINTON AVENUE UNIT A
ROSEVILLE, CALIFORNIA 95678

Structural Calculation Package

for

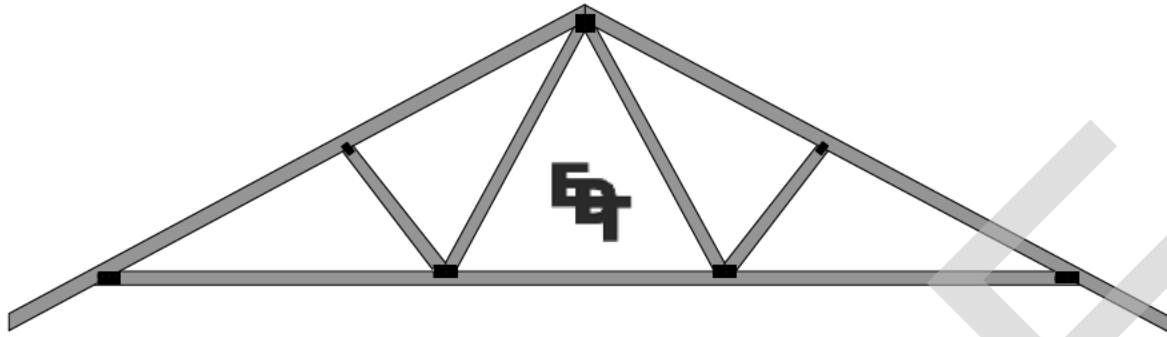
Taylor Finley

Finley ADU

Roseville, CA

Job # 22028

Signature electronically
applied



El Dorado Truss Company, Inc.

300 Industrial Drive - Placerville, CA 95667

Tel: (530) 622-1264

Fax: (530) 622-0242

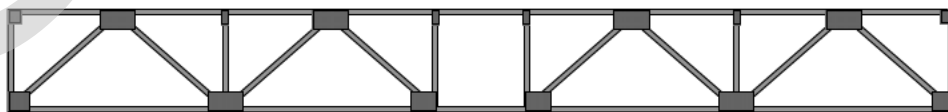
Truss Calculations

Customer : Finley

Project : 319 Clinton Avenue
Roseville, CA

Date : 4/13/2022

Job # **220305**



Paulo Ibañez PE
P.O. Box 781
Citrus Heights, CA 95611
April 14, 2022

Taylor Finley
319 Clinton Avenue
Roseville, CA 95678

**RE: Truss compliance review – Finley Residence ADU – 319 Clinton Avenue
Roseville, CA (Job #22028)**

To whom it may concern:

This letter is to verify that for the above project this office has received roof truss designs and layouts from El Dorado Truss Company, Inc. dated 4-12-22. At the time of this review, the truss designs were found to be in general compliance with the plans with no exceptions.

Please feel free to contact me at
further questions or concerns.

or

if you have any

Sincerely,

Signature electronically
applied

Paulo Ibañez PE

PI:pi

SOLAR PANEL DEAD WEIGHT LOADING CALCULATION

System:

Solar panel consists of 1 solar modules
 Mounting system has 12 points of connection with the roof

Panel Weight Calculation:

Solar Module Weight = 43.87 lbs.
 Mounting System Weight = 70.63 lbs.

Total Panel Weight = ((# of modules)x(module wt.))+ (mounting system wt. = $(1 \times 43.87) + 70.63 = 421.59$ lbs.

Point Load Calculation:

Point Load = $\frac{(\text{total panel wt.})}{(\text{\# of points of connection})} = \frac{421.59}{12} = 35.13$ lbs.

Distributed Load Calculation:

Solar Module Area = $\frac{\text{length} \times \text{width}}{144} = \frac{67.6 \times 41.14}{144} = 19.31$ ft²

Total Solar Module Area = (# of modules) x (solar mod. area) = $1 \times 19.31 = 154.50$ ft²

Inter-module Spacing = 0.76 in.

Total Spacing Area = $\frac{(\text{\# spaces bet. modules}) \times (\text{inter-mod spacing}) \times (\text{panel length or width})}{144} = \frac{7 \times 0.76 \times 67.6}{144} = 2.50$ ft²

Total Panel Area = (total solar modular area) + (total spacing area) = $154.50 + 2.50 = 157$ ft²

Distributed Load = $\frac{(\text{total panel wt.})}{(\text{total panel area})} = \frac{421.59}{157} = 2.69$ lbs./ft²

*The point loading and distributed loading should be below building department requirements for structural analysis.
 Distributed loading - Max. 5 lbs/ft²*

Save As
Clear
Print

Verification of Wire Sizes for PV System Calculation Form

Checking the wire size from the modules to the inverter (D/C):

Total PV System Rating: = (module wattage off cut sheet)x(# of modules in array) = x = Watts

Max. PV System Voltage: = (Voc(V) off cut sheet) x (# of modules) x CEC factor = x x 1.13 = Volts

Max. Circuit Current: = CEC factor x (total system wattage / total system voltage) = 1.25 x

360
46.53

 = Amps

Using CEC Table 310.15(B)(16): In temperature column copper, 75 ° C, find the amperage allowed, then read over to the size column for the minimum wire size

Min. wire size from Table 310.15(B)(16) #

Checking the wire size from the inverter to the service panel (A/C):

Max Inverter AC Power Output: = (Max AC power output off cut sheet) = Watts

Max. Service Voltage: = 110/240 V = Volts

Max. Circuit Current: = CEC factor x (max inverter AC power output /240) = 1.25 x

1.21
240

 = Amps 9.68A at 240V max.

Using CEC Table 310.15(B)(16): In temperature column copper, 75 ° C, find the amperage allowed, then read over to the size column for the minimum wire size

Min. wire size from Table 310.15(B)(16) #

Note: The smaller the wire size number the larger the wire thickness.

Save As

Clear

Print



Development Services Department
 Building Division
 311 Vernon Street
 Roseville, California 95678-2649
 (916) 774-5332 • Fax (916) 774-5394

Click Here to C

Electric Load Worksheet

Address: 319 Clinton Ave., Roseville, CA 95678 Date: 4/16/22

Main Electric Panel Service Size: Existing 125 (Amps) / New (if applicable) 225 (Amps)

Quantity of Existing Subpanels: 0 Quantity of New Subpanels: 1 Gas Furnace (Y/N) Y

Breaker Size(s) feeding subpanel(s)? 100 Wires Size(s) feeding subpanel(s)? 1/0

A. Calculate Habitable¹ Square Footage

1332 (Existing S.F.) + 998 (New S.F., if any) = 2,330 Total Habitable¹ Square Footage

B. Identify General Loads main house

General Lighting and Use Receptacles:	<u>9</u>	Total Habitable ¹ SF	x	<u>3</u>	=	<u>6,990</u>	total watts
Kitchen Small Appliance Branch Circuits:	<u>2</u>	(Quantity, Min. 2)	x	<u>1500</u>	=	<u>3,000</u>	total watts
Bathroom Small Appliance Branch Circuits:	<u>2</u>	(Quantity, Min. 1)	x	<u>1500</u>	=	<u>3,000</u>	total watts
Range:		(Nameplate Rating)	x	<u>1</u>	=		total watts
Oven:	<u>1</u>	(Nameplate Rating)	x	<u>1</u>	=		total watts
Water Heater:		(Nameplate Rating)	x	<u>1</u>	=		total watts
Dishwasher:	<u>1</u>	(Nameplate Rating)	x	<u>1</u>	=	<u>1,900</u>	total watts
Garbage Disposal:		(Nameplate Rating)	x	<u>1</u>	=		total watts
Washer:	<u>1</u>	(Nameplate Rating)	x	<u>1</u>	=	<u>1,900</u>	total watts
Dryer:	<u>1</u>	(Nameplate Rating)	x	<u>1</u>	=	<u>6,500</u>	total watts
Total Subpanel Load ² :		(Combined Watts ²)	x	<u>1</u>	=		total watts
Motor Loads:		(Nameplate Rating)	x	<u>1</u>	=		total watts
Other Loads:		(Nameplate Rating)	x	<u>1</u>	=		total watts

Add total watts together (from above) = 23,090 Total B

C. Identify Largest of the Following Six Heating and Air Conditioning (HAC) Loads

Electric Thermal Storage:	<u>0</u>	(Nameplate Rating)	x	<u>1</u>	=		total watts
Air Conditioning and Cooling:	<u>1</u>	(Nameplate Rating)	x	<u>1</u>	=	<u>9,600</u>	total watts
Heat Pump (without any supplemental electric heating):	<u>0</u>	(Nameplate Rating)	x	<u>1</u>	=		total watts
3 or Less (Separately Controlled) Electric Space Heating Units:	<u>0</u>	(Nameplate Rating)	x	<u>0.65</u>	=		total watts
4 or more (Separately Controlled) Electric Space Heating Units:	<u>0</u>	(Nameplate Rating)	x	<u>0.40</u>	=		total watts
Central Electric Space Heating System ³ :	<u>1</u>	(Combined Nameplate Rating ³)	=	<u>2,400</u>	total watts		

Enter single largest Heating and Air Conditioning Load (from above) = 12,000 Total C

D. Calculate Total Service Load

23,090 - 10,000 watts x 0.40 + 10,000 watts + 12,000 ÷ 240 = 113.48 Total Amps

Total B (from above) Total C (from above)

Signature: [Signature] Print Name: STEVEN SMITH State License Number (if applicable): PR41008

¹Habitable square footage includes the floor area for each floor, calculated from the outside dimensions of the dwelling unit. It does not include open porches, garages, or unused or unfinished spaces not adaptable for future use.

²Add all subpanel loads here that are not already included elsewhere on this form.

³For Central Electric Space Heating Systems, add 100% of the heat pump compressor's nameplate rating plus 65% of the supplemental electric heating's nameplate rating. If the heat pump compressor is prevented from operating at the same time as the supplementary heat, it does not need to be added to the supplementary heat for the total central space heating load.



Development Services Department
 Building Division
 311 Vemon Street
 Roseville, California 95678-2649
 (916) 774-5332 • Fax (916) 774-5394

Residential Occupancies Application Checklist for Green Building Code Requirements

Based on the 2016 California Green Building Standards Code

The purpose of this code is to improve public health, safety and general welfare by enhancing the design and construction of buildings through the use of building concepts having a reduced negative impact or positive environmental impact and encouraging sustainable construction practices. These measures shall be provided as a sheet within the master plans or on a compact disc or other available media at the time of plan review.

Feature or Measure	Levels		Verification Method		
	Applicant to select elective measures		Enforcing Agency <input type="checkbox"/> All	Installer or Designer <input checked="" type="checkbox"/> All	Third party <input type="checkbox"/> All
	Mandatory	Prerequisites and electives ¹			
	Tier 1	Tier 2			
319 Clinton Ave, Unit A					
PLANNING AND DESIGN					
Site Selection					
A4.103.1 A site which complies with at least one of the following characteristics is selected: 1. An infill site is selected. 2. A greyfield site is selected. 3. An EPA-recognized Brownfield site is selected.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A4.103.2 Facilitate community connectivity by one of the following methods: 1. Locate project within a 1/4-mile true walking distance of at least 4 basic services; 2. Locate project within 1/2-mile true walking distance of at least 7 basic services; 3. Other methods increasing access to additional resources.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Site Preservation					
A4.104.1 An individual with oversight responsibility for the project has participated in an educational program promoting environmentally friendly design or development and has provided training or instruction to appropriate entities.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Deconstruction and Reuse of Existing Materials					
A4.105.2 Existing buildings are disassembled for reuse or recycling of building materials. The proposed structure utilizes at least one of the following materials which can be easily reused: 1. Light fixtures 2. Plumbing fixtures 3. Doors and trim 4. Masonry 5. Electrical devices 6. Appliances 7. Foundations or portions of foundations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Site Development					
4.106.2 A plan is developed to manage storm water drainage during construction.	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.3 Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.106.4 Provide capability for electric vehicle charging in one and two-family dwellings and in townhouses with attached private garages; and 3 percent of total parking spaces, as specified, for multifamily dwellings.	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

2019 RESIDENTIAL ENERGY Mandatory Measures for New Lighting

PROJECT ADDRESS: 319 Clinton Ave, Roseville, CA 95678

All new lighting installed in low-rise residential buildings shall meet the following requirements. This form is required to be posted at the building site or made available for all appropriate inspections.

Definitions

- **Additions:** Includes any addition of new conditioned square footage and volume, where new luminaires are installed
- **Alterations:** Includes modifications where luminaires are replaced via a building permit
- **Permanently Installed Lighting:** Includes hard wired ceiling luminaires, chandeliers, vanity lamps, wall sconces, under-cabinet luminaires, luminaires in drawers/cabinets, night lights, step and path lights, and any other luminaire that is attached to the building, or buildings, on the property
- **Vacancy Sensor:** A manual-on/automatic-off lighting control, which includes a manual-off option
- **Occupancy Sensor:** Is allowed when it is programmed to function like a vacancy sensor (manual-on) for final inspection

MANDATORY FEATURES AND DEVICES: (Single Family / Duplex / Halfplex)

All residential lighting must be high efficacy. The definition of high efficacy luminaires includes all light sources identified under Table 1, below, for compliant luminaire types. The requirements apply to all permanent installed light fixtures, including screw-based which must contain JA8 compliant lamps.

Lighting Requirement Applicability	
Will Typically Require Compliance	Will Typically Not Require Compliance
<ul style="list-style-type: none"> • New construction and/or when adding onto a home (<i>the new areas of the home must meet the applicable requirements</i>) • When remodeling a home, only the work being done with a permit must meet the applicable requirements <ul style="list-style-type: none"> - Existing recessed ceiling luminaires with screw base sockets do not need to be replaced as long as JA8 trim kits/lamps are used 	<ul style="list-style-type: none"> • Changing light bulbs • Changing lighting controls • Replacing lighting fixtures • Moving lighting fixtures • Spaces not being renovated in a renovation project

Table 1. Luminaire Efficacy Classification (JA8)

All installed luminaires must meet the requirements in the following table:

	Automatically High Efficacy	Using JA8 Certified Lamps <small>(JA8-2016-E must be used for enclosed lamps/luminaires)</small>
Indoor	<ul style="list-style-type: none"> • Pin-based linear fluorescent • Pin-based compact fluorescent • Inseparable SSL luminaires with colored light sources for decorative lighting purpose 	<ul style="list-style-type: none"> • LED luminaires with white integral sources that are not decorative • Screw base LED lamps • Pin-based LED lamps
Outdoor	<ul style="list-style-type: none"> • Pulse-start metal halide light sources • High pressure sodium light sources • Luminaires with hardwired high frequency generator and induction lamp • LED light sources that are installed outdoors 	<ul style="list-style-type: none"> • Recessed/recessed ceiling downlights or enclosed lights that are not screw base, and that use an Insulation Contact Air Tight (ICAT-rated) can • Any light source not otherwise listed

Table 1: High Efficacy Light Source Classification (derived from 2019 California Energy Code Table 150.0-A)

PROJECT ADDRESS: 319 Clinton Ave, Roseville, CA 95678

Table 2. Residential Lighting Controls Requirements

All installed luminaires must also meet the requirements in the following table:

Required Lighting Controls				
All installed luminaires must be high efficacy that are permanently installed or integral to a luminaire exhaust fan or ceiling fan. Portable lighting (plugged in) is not subject to these requirements.				
Location	Control Requirements			Special Considerations
	Vacancy Sensor	Dimmer	On/Off Switch	
Bathroom	At least one luminaire in each of these rooms must be controlled with vacancy/occupancy sensor, no matter the luminaire source type	<ul style="list-style-type: none"> • JA8 light sources must be controlled with either dimmer, vacancy sensor or occupancy sensor • "Automatically" high efficacy luminaires can be controlled with either on/off switch, vacancy/occupancy sensor or dimmer 	<ul style="list-style-type: none"> • On/Off switch must be readily accessible wall-mounted manual controls, allowing occupants easy control of lighting in the space • Ceilings fans with integral lighting can be controlled with remote control 	<ul style="list-style-type: none"> • Exhaust fans must be controlled separately from lighting • Undercabinet lighting must be switched separately from ceiling mounted luminaires in a manor in which only one or the other are on at the same time • Energy Management Control System (EMCS) can be used if required code control requirements are met, and complies with §130.4 EMCS requirements • Dimmers and vacancy/occupancy sensor functions, required by code, must not be bypassed • If multiscene programmable controllers are used, they must meet dimmer requirements of section 110.9 and 150.0(k)
Laundry/Utility				
Garage (attached or unattached)				
Kitchen	<ul style="list-style-type: none"> • JA8 light sources to be controlled with dimmer, vacancy sensor or occupancy sensor • "Automatically" high efficacy can be controlled with either on/off switch, dimmer, vacancy sensor or occupancy sensor 	<ul style="list-style-type: none"> • JA8 light sources to be controlled with dimmer, vacancy sensor or occupancy sensor • "Automatically" high efficacy can be controlled with either on/off switch, dimmer, vacancy sensor or occupancy sensor 	<ul style="list-style-type: none"> • On/Off switch that allows all other outdoor control functions to work automatically 	<ul style="list-style-type: none"> • Light sources in drawers, cabinets and linen closets must be equipped with controls that turn off when applicable drawer, cabinet or linen closet is closed • Controls that override to ON are not allowed unless the override automatically reactivates within 6 hours • Landscape lighting exempt • Lighting not attached to building(s) is exempt
All Other: bedrooms, living rooms, office, dining, attic spaces, closets >70 ft ² , detached storage buildings				
Closets < 70 ft²				
Hallways	Dimmer, vacancy sensor or occupancy sensor is not required even if JA8 light sources are used			No greater than the number of bedrooms
Blank Electrical Boxes (more than 5 feet above floor)	Each box to be controlled by either vacancy sensor, occupancy sensor, dimmer or fan speed control			
Light Features: night lights, step lights, path lights, and light sources in drawers, cabinets and linen closets	Vacancy sensor(s) or occupancy sensor(s) (and the JA8 requirements) are not required if the luminaire is ≤ 5 watts emit ≤150 lumens			
Single Family Outdoors: Lighting attached to home or any other building on property	<ul style="list-style-type: none"> • Sensor types allowed include: <ul style="list-style-type: none"> – Photocell and motion sensor OR – Photocell and time switch OR – Astronomical time clock OR – EMCS that works like an any of the above • Illuminated signs must meet nonresidential sign lighting power requirements §140.8, or use no more than 5 watts 		<ul style="list-style-type: none"> • On/Off switch that allows all other outdoor control functions to work automatically 	<ul style="list-style-type: none"> • Controls that override to ON are not allowed unless the override automatically reactivates within 6 hours • Landscape lighting exempt • Lighting not attached to building(s) is exempt

VERIFICATION STATEMENT:

I, the undersigned, verify that any new lighting installed shall comply with the mandatory features and devices listed above, as required for compliance with the 2019 California Energy Code section 150.0(k).

Signature: Steve Benedict
 Owner Or Designer Or Contractor

Date: 4/16/22

Determining Water Pipe ar

Project Address: 319 Clinton Ave, Roseville CA 95678
319 A Clinton Ave, Roseville CA

General Information

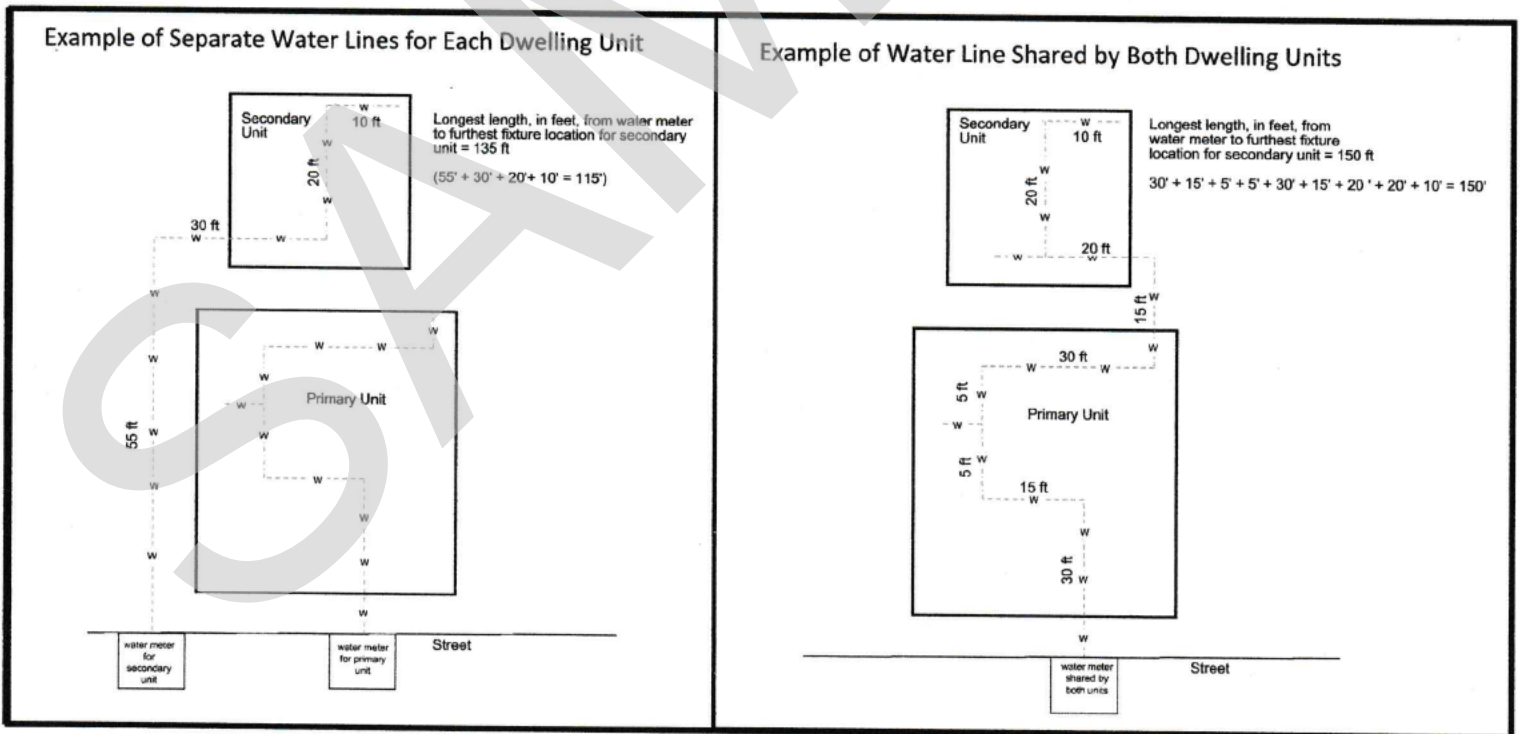
Water piping systems shall be designed and installed to meet the minimum standards set forth in Chapter 6 of the current California Plumbing Code.

*The length shall be the distance from the water meter (usually located at the street) to the furthest fixtures.

*The size of the water Meter and street service as well as the building supply and branches are calculated per CPC Table 610.4.

*Subtract, from the available water pressure provided, one-half (1/2) pound per square inch pressure for each foot of difference in elevation between such source of supply and highest water supply outlet in the building or on the premises.

- 1) Length in feet (L) from water meter to furthest fixture location: 150'
- 2) Elevation difference between water meter and highest water supply outlet: 10'
- 3) Total number of fixtures units as computed from CPC table 610.3 (see page 2 of this form): 67
- 4) Size of existing meter (3/4" or 1", etc.) : 3/4"
- 5) Required size of meter (3/4", 1", etc.) from CPC table 610.4 (see page 2 of this form) : 1"



Project Address: 319 Clinton Ave, Roseville CA

TABLE 610.3 INSTRUCTIONS:

If second unit and primary unit will share the same water meter, please complete Column A, Column B, and C
 If the second unit will have a dedicated water line and a separate water meter, please complete only Column A

**CALIFORNIA PLUMBING CODE, TABLE 610.3
 WATER SUPPLY FIXTURE UNITS (WSFU) AND MINIMUM FIXTURE BRANCH PIPE SIZE**

APPLIANCES, APPURTENANCES OR FIXTURES ²	MINIMUM FIXTURE BRANCH PIPE SIZE (Inches)	COLUMN A QUANTITY OF EACH FIXTURE IN PRIMARY DWELLING UNIT	COLUMN B QUANTITY OF EACH FIXTURE IN SECONDARY DWELLING UNIT	COLUMN C UNITS PER FIXTURE	TOTAL OF BOTH PRIMARY AND SECONDARY FIXTURES COMBINED, MULTIPLIED BY UNITS PER FIXTURE [COLUMN A + COLUMN B] X COLUMN C
Bathtub or Combination Bath/Shower (fill)	½	2	1	4.0	12
¾ inch Bathtub Fill Valve	¾	0	0	10.0	
Bidet	½	0	0	1.0	
Clothes Washer	½	1	1	4.0	8
Dishwasher, domestic	½	1	1	1.5	3
Hose Bibb	½	1	1	2.5	5
Hose Bibb, each additional	½	1	1	1.0	2
Lavatory	½	2	2	1.0	4
Lawn Sprinkler, each head	----	18	0	1.0	18
Mobile Home or Manufactured Homes, each (minimum)	----	0	0	6.0	
Sinks	----	----	----	----	----
Bar	½	0	0	1.0	
Kitchen, domestic with or without dishwasher	½	1	1	1.5	3
Laundry	½			1.5	
Shower, per head	½	0	1	2.0	2
Water Closet, 1.6 GPF Gravity Tank	½	2	2	2.5	10
Water Closet, greater than 1.6 GPF Gravity Tank	½	0	0	3.0	
Other: _____					
Other: _____					
Primary Dwelling Unit Fixture Unit Subtotal: 43.5		Second Dwelling Unit Fixture Unit Subtotal: 23.5		TOTAL COMBINED WATER FIXTURE UNITS: 67	

TABLE 610.4 INSTRUCTIONS:

Using the total calculated water fixture units from the table above and the length in feet from the water meter to the furthest fixture location, please highlight the below table to indicate the required Meter and Street Service size and the required Building Supply and Branches size.

METER AND STREET SERVICE (inches)	BUILDING SUPPLY AND BRANCHES (inches)	MAXIMUM ALLOWABLE LENGTH (feet)															
		40	60	80	100	150	200	250	300	400	500	600	700	800	900	1000	
PRESSURE RANGE - 46 to 60 psi																	
¾"	½"	7	7	6	5	4	3	2	2	1	1	1	0	0	0	0	
¾"	¾"	20	20	19	17	14	11	9	8	6	5	4	4	3	3	3	
¾"	1"	39	39	36	33	28	23	21	19	17	14	12	10	9	8	8	
1"	1"	39	39	39	36	30	25	23	20	18	15	12	10	9	8	8	
¾"	1 ¼"	39	39	39	39	39	39	34	32	27	25	22	19	19	17	16	
1"	1 ¼"	78	78	76	67	52	44	39	36	30	27	24	20	19	17	16	
1 ½"	1 ¼"	78	78	78	78	66	52	44	39	33	29	24	20	19	17	16	
1"	1 ½"	85	85	85	85	85	85	80	67	55	49	41	37	34	32	30	
1 ½"	1 ½"	151	151	151	151	128	105	90	78	62	52	42	38	35	32	30	
2"	1 ½"	151	151	151	151	150	117	98	84	67	55	42	38	35	32	30	
1"	2"	85	85	85	85	85	85	85	85	85	85	85	85	85	83	80	
1 ½"	2"	370	370	340	318	272	240	220	198	170	150	135	123	110	102	94	
2"	2"	370	370	370	370	368	318	280	250	205	165	142	123	110	102	94	
2"	2 ½"	654	640	610	580	500	470	440	400	365	335	315	285	267	250		

Total Fixture Units
(rounded up to the nearest figure in the table)

Jack Clegg / [Signature]



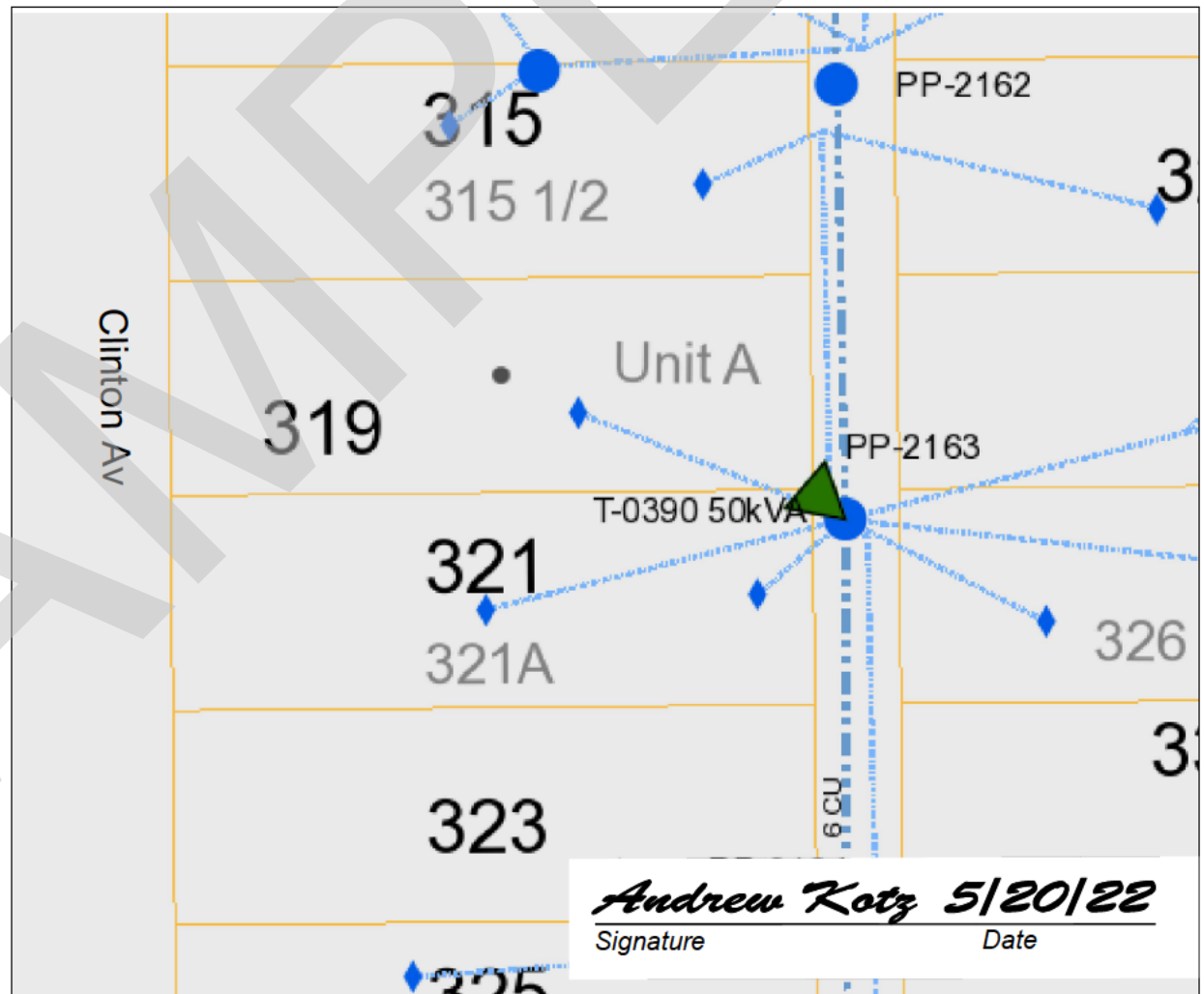
To: Building Department
 From: Andrew Kotz Electric Department

319 Clinton Av
 Site Address

Electric Panel Location Approv

- Panel Upgrade New Service
- Temporary Construction Service
- Original Panel Size, 100 amps, 120/240v
- New Panel Size, up to 225 amps, 120/240v
- Replace panel at same location
- Relocate panel as shown
- Service riser to be installed at a height to meet NEC Clearances
- Both metered mains at one location (i.e. via sealable gutter or dual meter panel) only as allowed when both units qualify as separate addressable residences
- Convert to underground service
- Install EUSERC approved, commercial rated panel with test bypass section
- Service Entrance conductors by developer per NEC

*** Center of socket to be between 48" and 75" above final grade***
 *** Power cutoff / reconnection, Call Electric Dispatch at (916)774-5620 ***



Taylor
 Applicant

Phone Number _____